

STATEMENT OF HERITAGE IMPACT FOR PROPOSED DEVELOPMENT OF 26 LITHGOW STREET GOULBURN

Prepared by

Eric Martin & Associates

For

Goulburn Projects



10/68 Jardine St
KINGSTON ACT 2604
Ph: 0262606395
Fax: 02 62606413
Email: emaa@emaa.com.au

DRAFT
ISSUE 1
24199
15 July 2024

CONTENTS

1.0	INTRODUCTION	3
2.0	CURRENT STATUS	3
3.0	PROPOSED DEVELOPMENT	4
4.0	COMMENT	6
5.0	CONCLUSION	7

ATTACHMENT 1 DCP 2009CLAUSE 3.3.24 GOULBURN RESIDENTIAL HERITAGE
CONSERVATION AREA

ATTACHMENT 2 DRAWINGS



1.0 INTRODUCTION

The proposal is to develop a vacant site and construct 5 houses on the site which is within a Conservation Area (refer Figure 1).

This report has been prepared by Eric Martin AM

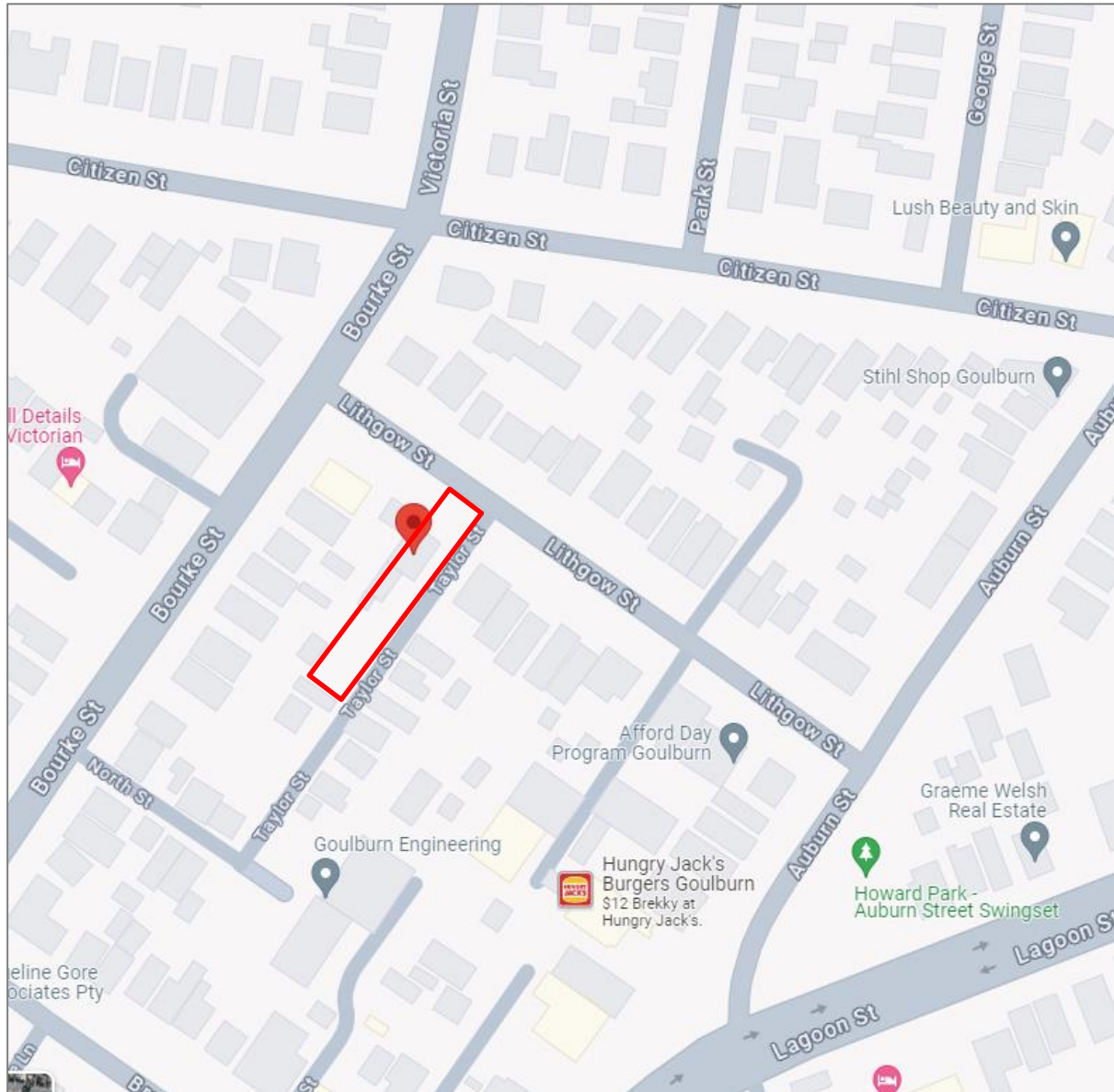


Figure 1: Location Plan

2.0 CURRENT STATUS

The site is not individually listed but is within the Goulburn City Conservation Area in the sub part North Goulburn Housing Heritage Conservation Area.

There are no individually listed places or landmark sites near this site.

The design guides for new work in Conservation Areas include:

- DCP 2009 Clause 3.3.24 Goulburn Residential Heritage Conservation Areas (refer Attachment 1).



The key aspects of this are:

- Character – a mix of residential and commercial which were developed from the 1880s with a range of building types but some areas have diminished with inappropriate infill development. Streetscapes largely retain their early character.

The objectives are:

- To ensure the HCA permits mixed use development (although the majority of which is residential) that can balance development and conservation sustainably;
- To maintain, protect and enhance the city's built and natural heritage;
- To provide standards and guidelines to improve the image, attractiveness and landscape of the localities;
- To promote adaptive reuse of buildings that may otherwise be demolished or left in state of disrepair;
- To ensure alterations and additions to contributory and heritage properties and infill development are sympathetic to the heritage value and character of the area in which they are located; and
- To ensure the landscape and street trees in the area are protected and maintained by requiring new development to have large gardens and where possible a tree.

There are a number of controls including:

- Scale;
 - Setting/subdivision;
 - Form/ massing; and
 - Design.
- There are also other guide documents including:
 - DCP2009 Clause 9.7 Appendix H Heritage Impact Requirements.
 - DCP 2009 Clause 9.8 Appendix I Goulburn Mulwaree Good Design Statement.
 - Goulburn Mulwaree Information guide on Heritage.

3.0 PROPOSED DEVELOPMENT

The vacant site is to be developed and replaced with 5 single storey new houses with direct access off Taylor Street. Refer Figure 2 and Figure 3 with more drawings in Attachment 2.





Figure 2: Existing

Source: Realestate.com.au accessed 9 July 2024





- Scale is consistent with the character.

- Setting is consistent with the character although substantially changed to reflect the character of the east side of Taylor Street.
- Form/massing is similar to the existing opposite in Taylor Street.
- Design is residential as is the existing area.

5.0 CONCLUSION

The proposed development is in a less significant street in the Conservation Area as it is away from main roads and although it will change the character of Taylor Street by a more intensive development it is not inconsistent with the character, scale, form, massing, design and setting of the existing houses in Taylor Street. It will therefore have minimal impact on the heritage values of the area.



**ATTACHMENT 1 DCP 2009 CLAUSE 3.3.24 GOULBURN RESIDENTIAL
HERITAGE CONSERVATION AREA**



		streetscapes.
	FSR	Commercial core (B3) – 2:1 and Mixed Use (B4) – 1.5:1
Setting / Subdivision	Subdivision	Maintain original grid form subdivision, including lanes and rectangular allotments addressing the streets.
	Setbacks	Maintain consistency in setbacks.
	Landscaping	Maintain parks and open space areas. Streets dominated by street trees.
	Car parking	Limit car parking to rear of developments. Residential car parking should be low impact and not dominate the streetscape.
	Front fencing	In residential areas maintain garden settings with low or no fencing.
	Views	Maintain important views and vistas within and to and from the city centre.
Form / Massing	Roof	Maintain simple roof forms, retain existing chimneys and roof pitches for new development should be at least 27.5 degrees. In commercial areas parapets should dominate roofs.
	Façade	Vertical features above awning facades. Corner features are important. Traditional shop windows, with narrow frontages to match existing / original development.
Design	Height	Commercial core (B3) – 15m and Mixed Use (B4) – 10m
	Residential	Street facing prominent gables, hipped or pitched corrugated iron or tile roofs, timber framed windows, front verandahs, asymmetrical façades, and face brick finished.

3.3.24 Goulburn Residential Heritage Conservation Areas

3.3.24.1 Definition and Location

There are three residential localities that surround the central business area and overlap with it in some cases. These areas are located to the west, south and north of the central business area and provide important support elements. The extent of the HCA is shown in Goulburn Mulwaree LEP 2009 and in Figure 3.21 below.

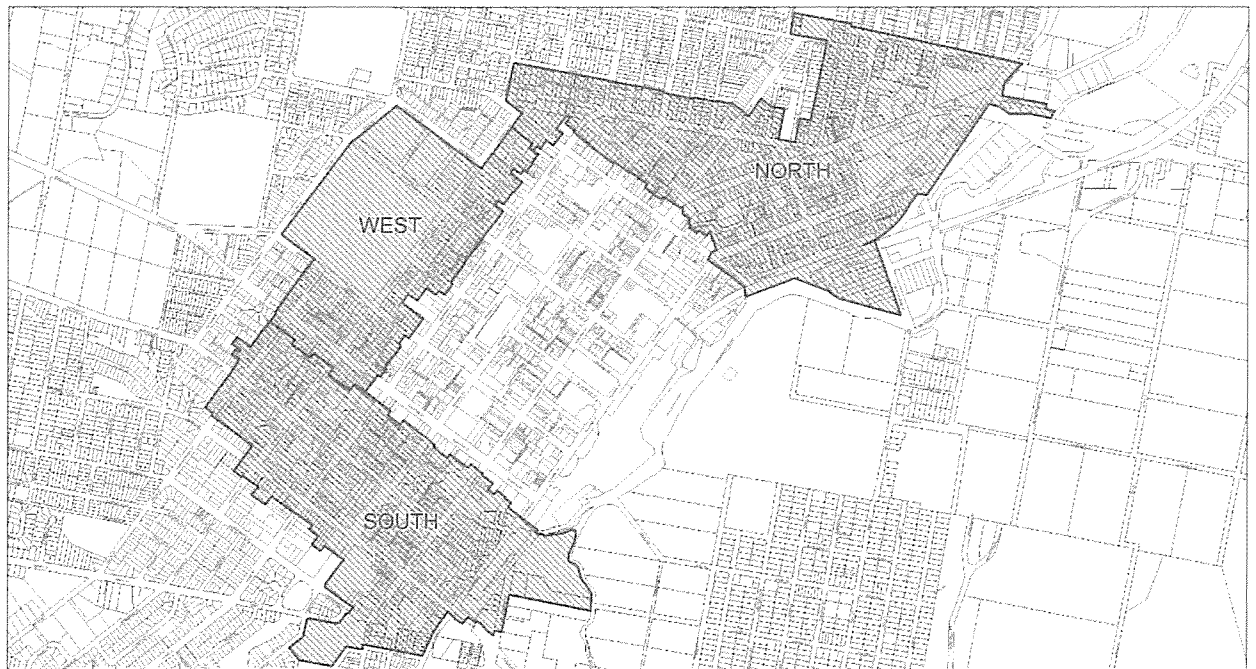


Figure 3.22: Goulburn Housing Heritage Conservation Areas

3.3.24.2 Character

These three areas to the north, south and west of the town centre all include predominantly residential elements interspersed with schools, ecclesiastical elements and small scale retail and commercial development.

The Western area, due to the topography, includes a number of grand homes and landscape areas from both the Victorian and Federation periods. The land rises westwards from the City centre area. A small number of Georgian buildings remain scattered through the area. The streets are tree lined with relatively consistent setbacks.

The Southern area past Clinton Street is also residential in character and includes a mix of dwelling styles from the boom of the 1880s / Victorian to the post World War I growth period. The area includes a largely uniform road grid pattern, with a mix of setbacks from being on the street to setback semi-rural dwellings that are oriented northward rather than to the street dating from the Georgian cottage / farmhouse period. The landscaping in this area is also diverse, with some tree lined streets and some sparse.

The North eastern area includes a mix of residential and commercial development, including the main entrance to the town area, which was part of the Great South Road. This means there are

a number of former two storey inns and other travel type related former buildings including small shops. The character is mainly determined by small scale, simple Georgian and Victorian cottages, terraces and semi-detached. Further north is the original subdivision of Goulburn Township, of which little remains. It continues the mix of land use for this precinct.

3.3.24.3 History

Apart from the original Goulburn Township which is in North Goulburn, the majority of these areas remained relatively undeveloped until the building boom of the 1880s. They then continued to develop through the years, with additions around the turn of the century, post-World War I and following World War II, especially with housing commission in the late 1940s.

3.3.24.4 Statement of Significance

Occupying the outer areas of the original centre of Goulburn, these mainly residential areas developed from the 1880s when the building boom in Goulburn commenced and Goulburn was declared a City.

Like the other parts of Goulburn, these areas include a large number of building types dating from the Victorian and Federation periods reflecting the setting and character of Goulburn as an important regional centre of the time. Although there has been loss and changes to a number of the elements within these areas, the rich and exceptional historical importance of the area is still evident through the extensive numbers of heritage items and contributory buildings.

The areas demonstrate a good diversity of building styles from a variety of periods dating from the Georgian style workers cottages of the early 1850s. The character has been diminished slightly by inappropriate infill development from the 1970s.

The topography of the western area in particular and the wide tree lined streets of the residential area further contribute to the significance of the area.

3.3.24.5 Positive Characteristics

There are a number of positive characteristics for these mixed use areas surrounding the business centre of Goulburn which reflect their contributory nature. These include the following:

- Original grid form of the subdivision and street pattern;
- Relatively intact residential streetscape;
- Street tree plantings that contribute to the streetscape and character of the areas;
- Traditional shop fronts and former inn developments;

- Generally intact housing stock from a variety of eras;
- Topography, particularly in the western and southern areas, is characterised by small hills and ridges that create distinctive view corridors;
- The remaining topography is relatively flat and view corridors are limited and localised;
- Groupings of ecclesiastical based development; and
- Established public domain areas including parks, street trees, footpaths and grass verges.

The north, west and southern areas also include some uncharacteristic elements that do not contribute to the heritage value of the HCA. These elements include:

- Impacts of past road widening for former highway development;
- Inappropriate additions and alterations to early buildings;
- Unsympathetic infill development that is not consistent with the streetscape and uses inappropriate materials, colours and finishes;
- Location of industrial and services;
- Contemporary buildings that have not been designed with regard to the historic streetscape;
- Overhead wires and antennas in residential or low scale areas;
- Removal of street trees and other landscaping within the area;
- Lack of maintenance of historic buildings that have led to disrepair and potential requests for demolition; and
- Breaks in built form such as large vacant areas for car parking, service stations, or car yards are uncharacteristic and can detract from the historic built form of the centre.

The majority of buildings and places within these areas contribute in some form to the heritage character and appeal of the HCA. To ensure the areas maintain the character for which they are known, the controls in Sections 3.1.5 and 3.1.6 should be followed to maintain the landscape and visual appeal.

3.3.24.6 Objectives

- To ensure the HCA permits mixed use development (although the majority of which is residential) that can balance development and conservation sustainably;
- To maintain, protect and enhance the city's built and natural heritage;
- To provide standards and guidelines to improve the image, attractiveness and landscape of the localities;

- To promote adaptive reuse of buildings that may otherwise be demolished or left in state of disrepair;
- To ensure alterations and additions to contributory and heritage properties and infill development are sympathetic to the heritage value and character of the area in which they are located; and
- To ensure the landscape and street trees in the area are protected and maintained by requiring new development to have large gardens and where possible a tree.

3.3.24.7 Controls for Future Development

This section should be read in conjunction with the more extensive development controls included in Sections 3.1.5 and 3.1.6 of this DCP.

Scale	Category	Controls
	Storeys	1-2 storeys in residential area 2-3 storeys in mixed use area
	FSR	Mixed Use (B4) – 1.5:1 Residential area – no statutory FSR
Setting / Subdivision	Subdivision	Maintain traditional subdivision layout and grid street pattern. Limit subdivision in residential areas that detracts from heritage significance of the area and views to and from significant buildings.
	Setbacks	Maintain existing setbacks, especially for any new development.
	Frontage	Maintain consistent frontages for residential lots.
	Landscaping	Maintain tree lined street trees and significant landscaping. Ensure front landscaping is maintained, including settings of historic homes. Infill development should include large garden areas with at least one tree per dwelling to retain the landscape setting.
	Car parking	Car parking should be located at the rear or located where the least impact to the streetscape and heritage significance of the area.
	Front fencing	No or low front fencing in residential areas.
Form / Massing	Roof	Ensure original roof form and materials are maintained. Retain existing chimneys. New development should include simple roofs with similar

		<p>pitches to existing, especially in residential areas – over 27.5 degrees.</p>
	Façade	<p>Maintain and restore existing facades, especially in mixed use areas.</p>
	Height	<p>Residential (R1) areas – 8m and Mixed Use (B4) areas – 10m. Overall heights in the residential and mixed use areas should be respected for existing and new development.</p>
Design	Residential	<p>Street facing prominent gables, hipped or pitched corrugated iron or tile roofs, timber framed windows, front verandahs, asymmetrical façades, and face brick finished.</p> <p>Attic rooms can be considered to the rear of items or within new buildings where not visible or obtrusive from the front façade or streetscape.</p>

ATTACHMENT 2 DRAWINGS



TOWN HOUSE DEVELOPMENT
26 LITHGOW STREET, GOULBURN, NSW

DA01.1	TITLE SHEET
DA02.1	SITE ANALYSIS PLAN
DA03.1	DEMOLITION PLAN
DA04.1	SITE PLAN
DA05.1	LANDSCAPE PLAN
DA06.1	GROUND FLOOR PLAN
DA07.1	ELEVATIONS
DA11.1	SECTIONS
DA12.1	ISO VIEWS
DA13.1	ISO VIEWS
DA16.1	ROOF PLAN
DA17.1	AREA PLANS
DA19.1	SEDIMENT & EROSION CONTROL PLAN

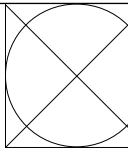


PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: TITLE SHEET

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED
DIMENSIONS. DIMENSIONS ON
NOT TO BE USED OR COPIED WITHOUT WRITTEN
PERMISSION.

Issue	date	amendment



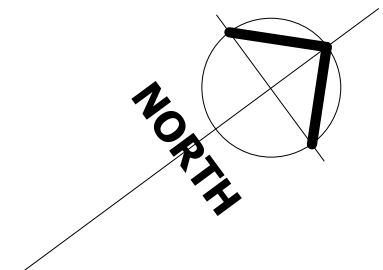
DATE:	JUNE '24
DRAWN:	HG
SCALE:	
PR. NO:	LITHGOW ST
DWG NO:	DA01.1



CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:04:59 PM

- LEGEND
- view and aspect lines
 - noise sources
 - car headlight spillage
 - vehicular entry point
 - close-by neighbour windows

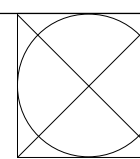


1 SITE ANALYSIS PLAN
1 : 250

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SITE ANALYSIS PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

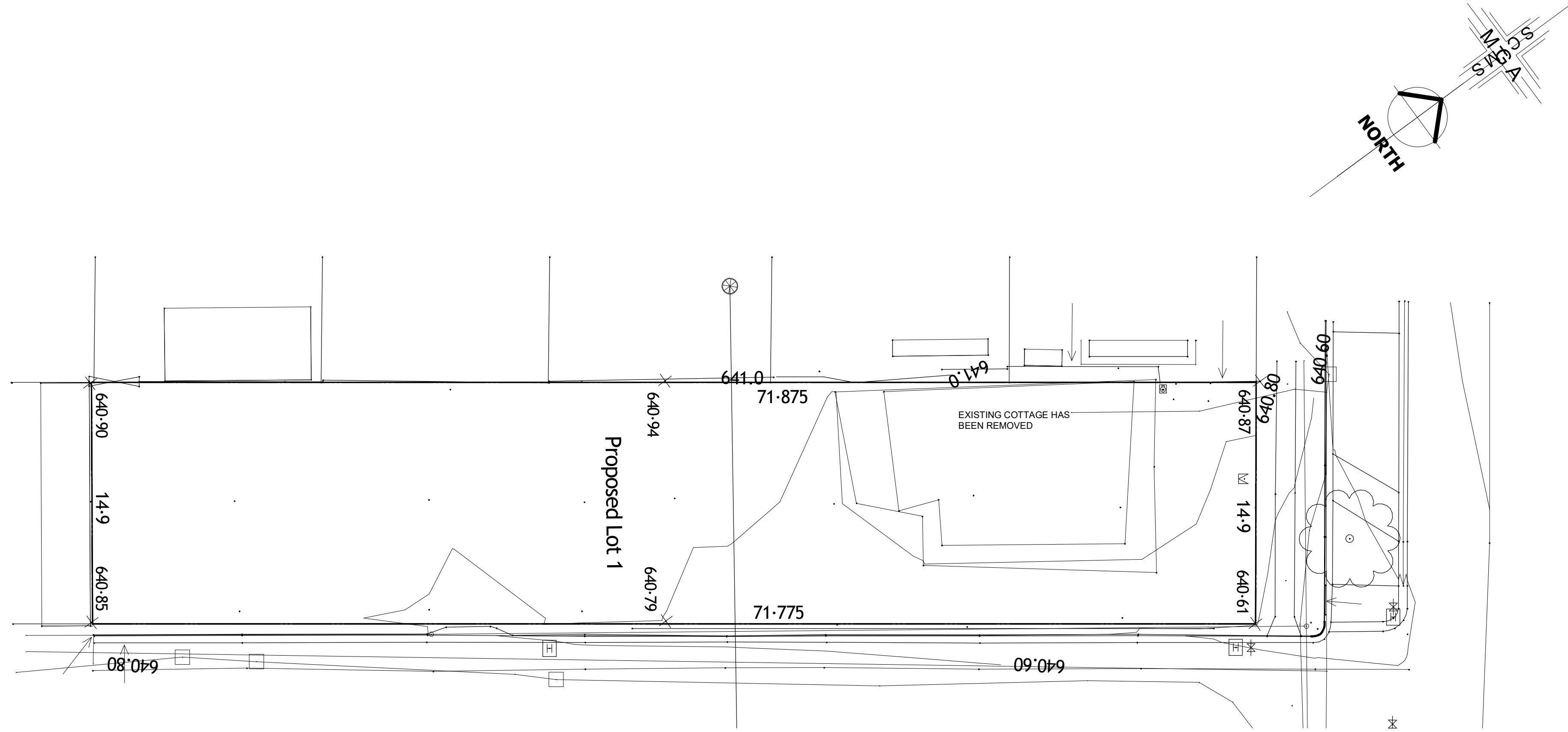


DATE: JUNE '24
DRAWN: Author
SCALE: 1 : 250
PR. NO: LITHGOW ST
DWG NO: DA02.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:05:08 PM



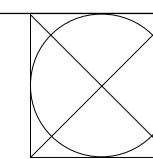
1 DEMOLITION PLAN
1 : 200

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: DEMOLITION PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

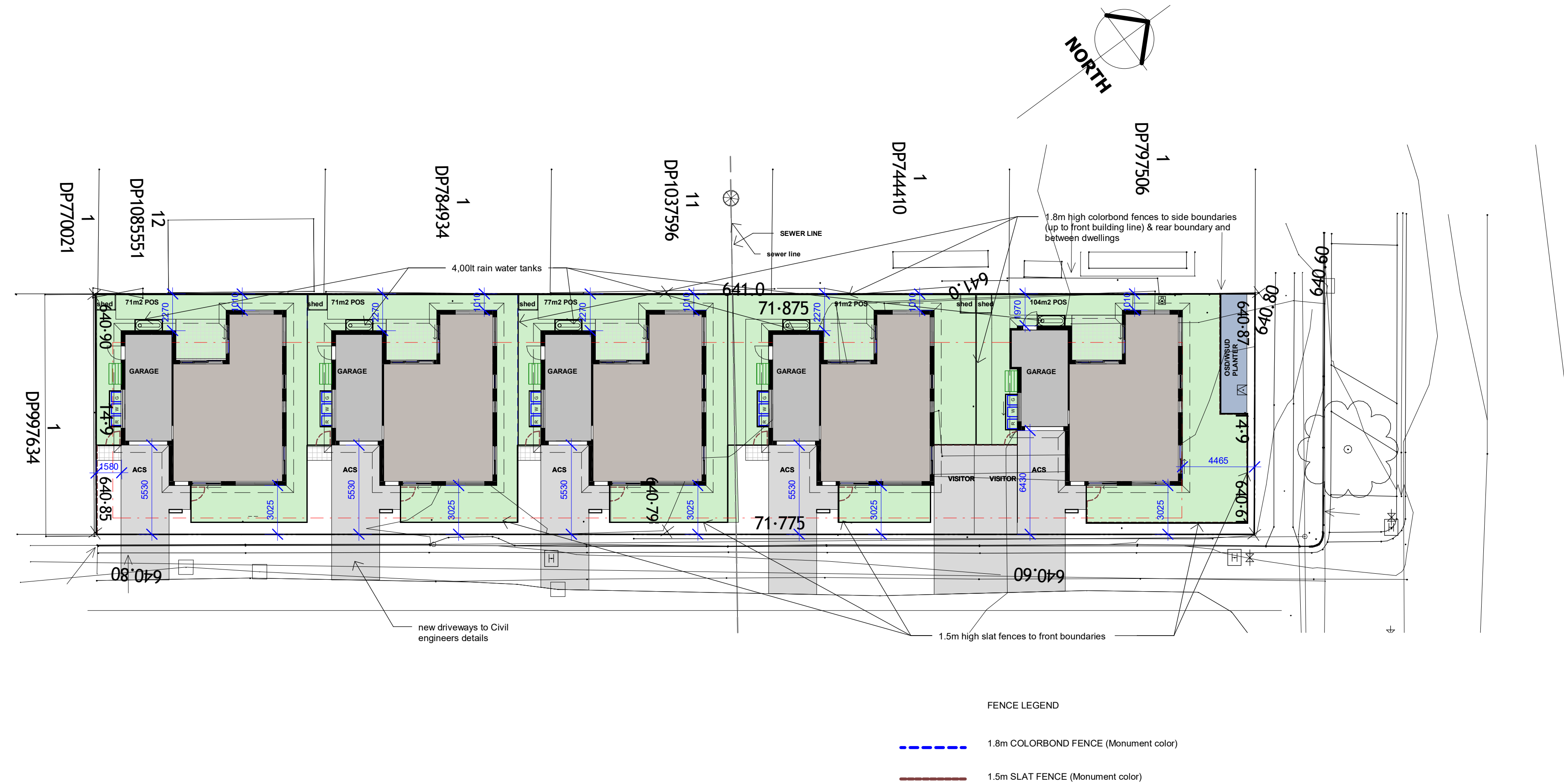
issue	date	amendment



DATE: JUNE '24
DRAWN: Author
SCALE: 1 : 200
PR. NO: LITHGOW ST
DWG NO: DA03.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au



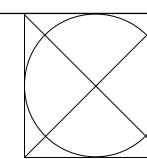
1 SITE PLAN
1 : 200

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SITE PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

Issue date amendment



DATE: JUNE '24
DRAWN: HG
SCALE: 1 : 200
PR. NO: LITHGOW ST
DWG NO: DA04.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au



Trident Maple



Japanese Maple



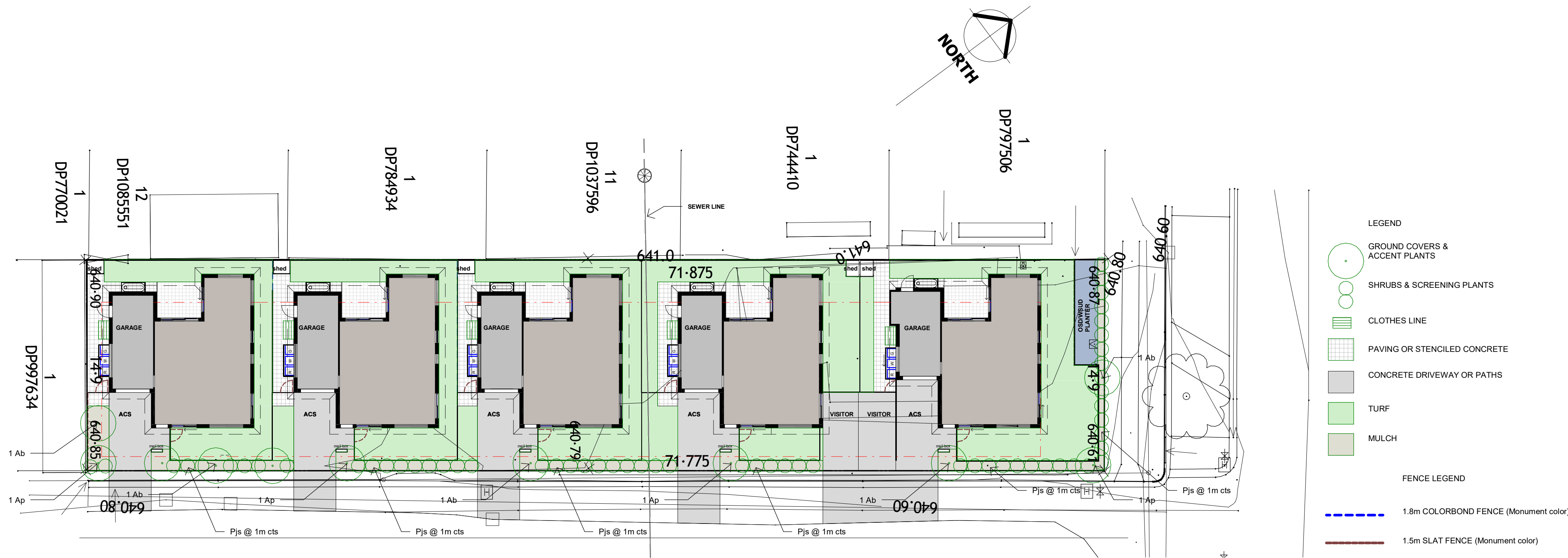
Pittosporum

PLANT SCHEDULE

Plant Schedule			
Trees to be semi-mature stock			
Code	Name	Common	Pot Size (mm)
Ap	Acer palmatum 'Sango Kaku'	Japanese Maple	140mm
Ab	Acer Buergersanum	Trident Maple	140mm
Shrubs and Groundcovers			
Pjs	Pittosporum 'James Stirling'	Pittosporum	140mm

LANDSCAPE NOTES

Landscape work to be in accordance to Canberra landscape guidelines and the author's best specification for roads, hydraulics and landscape 1997, not contravening 1+2, in particular:
Note:
The retention of plants, gardens and other desirable natural areas on the site, shall be evaluated before the commencement of landscape works.
Make good any damage to disturbed areas and include all obvious work.
Strip and stockpile any top soil as directed by the superintendent.
The contractor shall confirm the locations of all services with the relevant authorities prior to earthworks and planting.
Planted and staked to correct of access for vehicles with layout and fertilizer as recommended by the plant supplier and topped with mulch to 50mm min. depth.
Remaining areas to be mulched garden beds (MG)
Subgrade earthworks: form and finish site to form aggregate levels
Cultivation & prepare: remove all garden waste to 500mm depth
Topsoil: garden areas: spread subsoil to topsoil with 20% spent saw muck thoroughly mixed prior to spreading to 50mm depth until supplies are exhausted, then supply and spread top 5% topsoil to 100mm depth to 100mm depth topped with 20mm depth of topsoil. Then incorporate into subsoil (about 100mm) to remove any waterlogging before or during 100mm grade (see 100mm ground)
Planting: supply and plant as per schedule. Fertilize all plants with 50gms live phosphorus 'seamless' at time of planting. Excavate planting hole 100mm wider and deeper than pot.
Note: for plant trees to 100mm depth with 100mm depth.
Stake all shrubs and trees with 100x50x50mm hardwood stakes embedded 600mm, 100mm away from trunk. Where support is necessary, fix stake to stake with 2 no. 50mm wide wooden ties. See also tree to ground for planting.
Mulching: supply and plant 75mm 'cane forest floor' mulch to all garden areas. Form 100mm dia mulched watering basins to all trees in dry grass.
Vegetation: Dryland Grassing: cultivate, topsoil, prepare for and sow dryland grass mix 'type C' spread between 1 metre radius, and fertilize.
Consolidation: press to be 11 weeks.



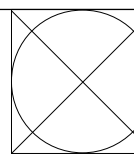
1 LANDSCAPE PLAN
1 : 200

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: LANDSCAPE PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

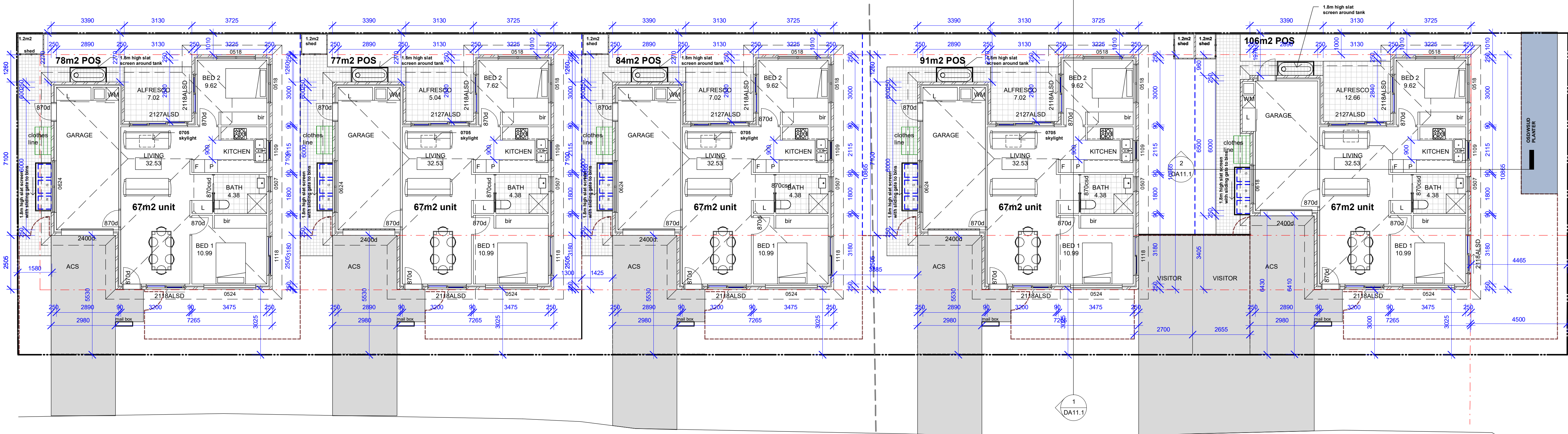
Issue date amendment



DATE: JUNE '24
DRAWN: Author
SCALE: 1 : 200
PR. NO: LITHGOW ST
DWG NO: DA05.1



CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au



1 GROUND FLOOR PLAN
1 : 100

FENCE LEGEND

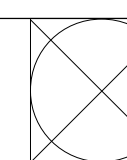
- 1.8m COLORBOND FENCE (Monument color)
--- 1.5m SLAT FENCE (Monument color)

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: GROUND FLOOR PLAN

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

issue date amendment



DATE: JUNE '24
DRAWN: HG
SCALE: 1 : 100
PR. NO: LITHGOW ST
DWG NO: DA06.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

COLOUR SCHEDULE

RENDER PAINTED OFF WHITE (SURMIST)

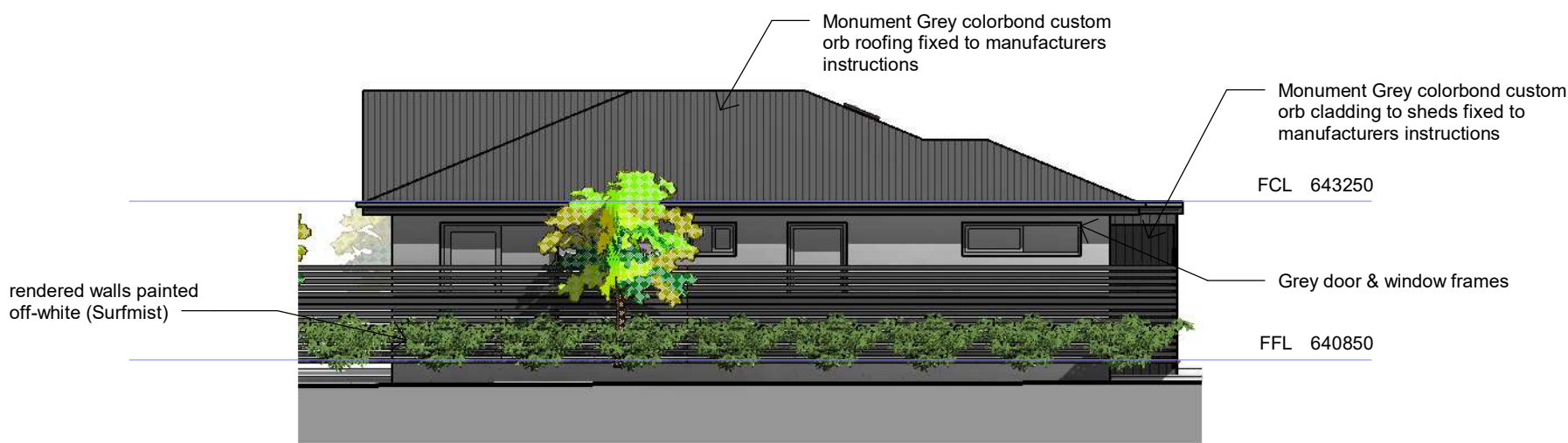
RENDER PAINTED CHARCOAL GREY (MONUMENT)

GREY FACE BRICK

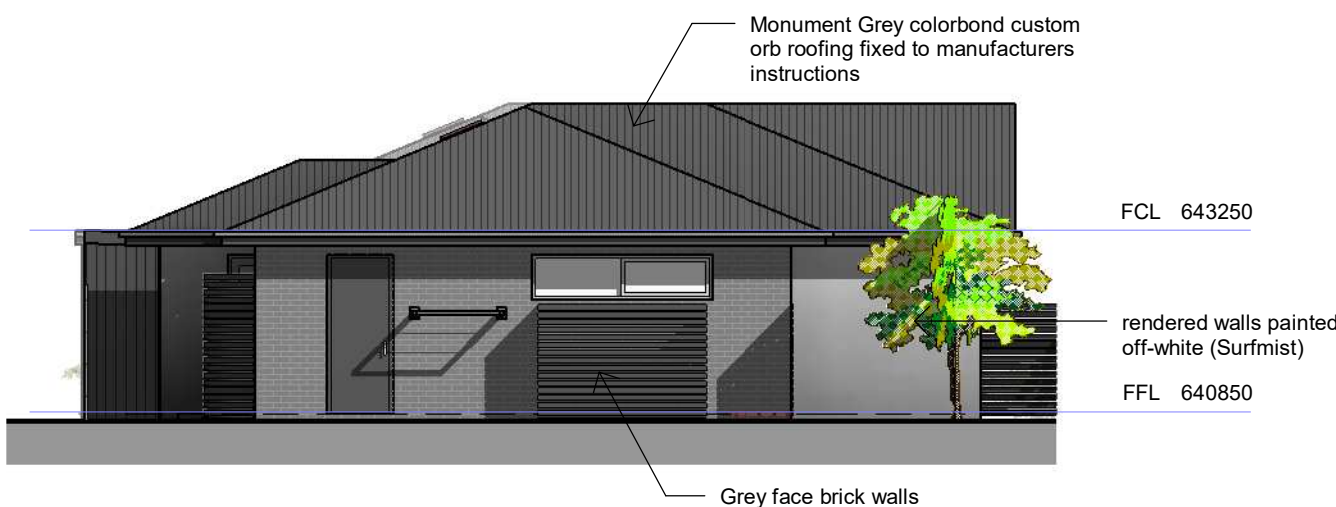
MONUMENT GREY METAL ROOF/GUTTER CLADDING
MONUMENT GREY FEATURE WALL & SHED CLADDING

Colour Schedule

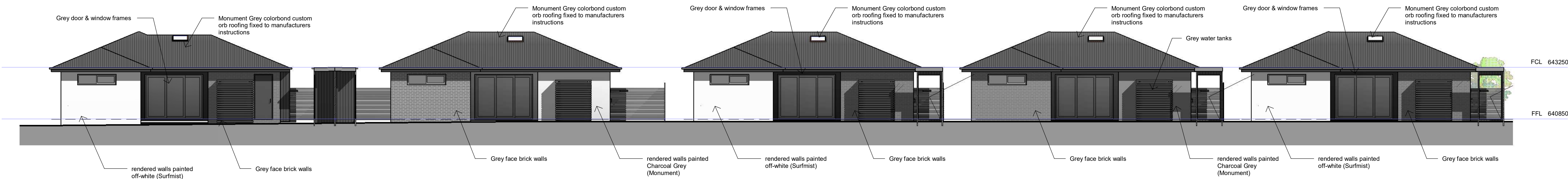
1 : 200



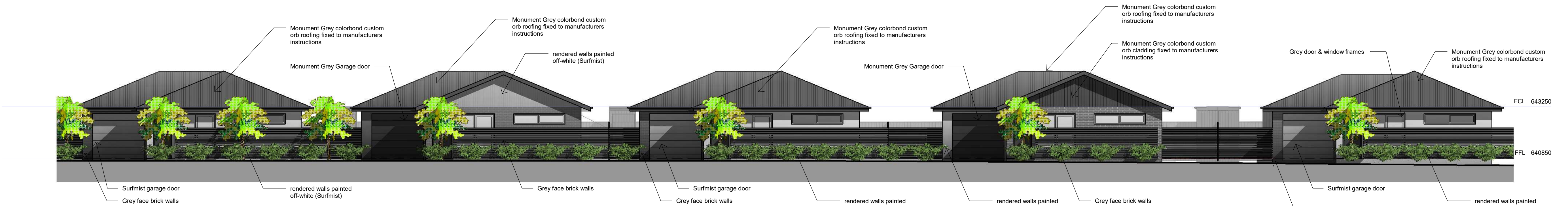
1 NORTH EAST ELEVATION
1 : 100



2 SOUTH WEST ELEVATION
1 : 100



3 NORTH WEST ELEVATION
1 : 100



4 SOUTH EAST ELEVATION
1 : 100

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: ELEVATIONS

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

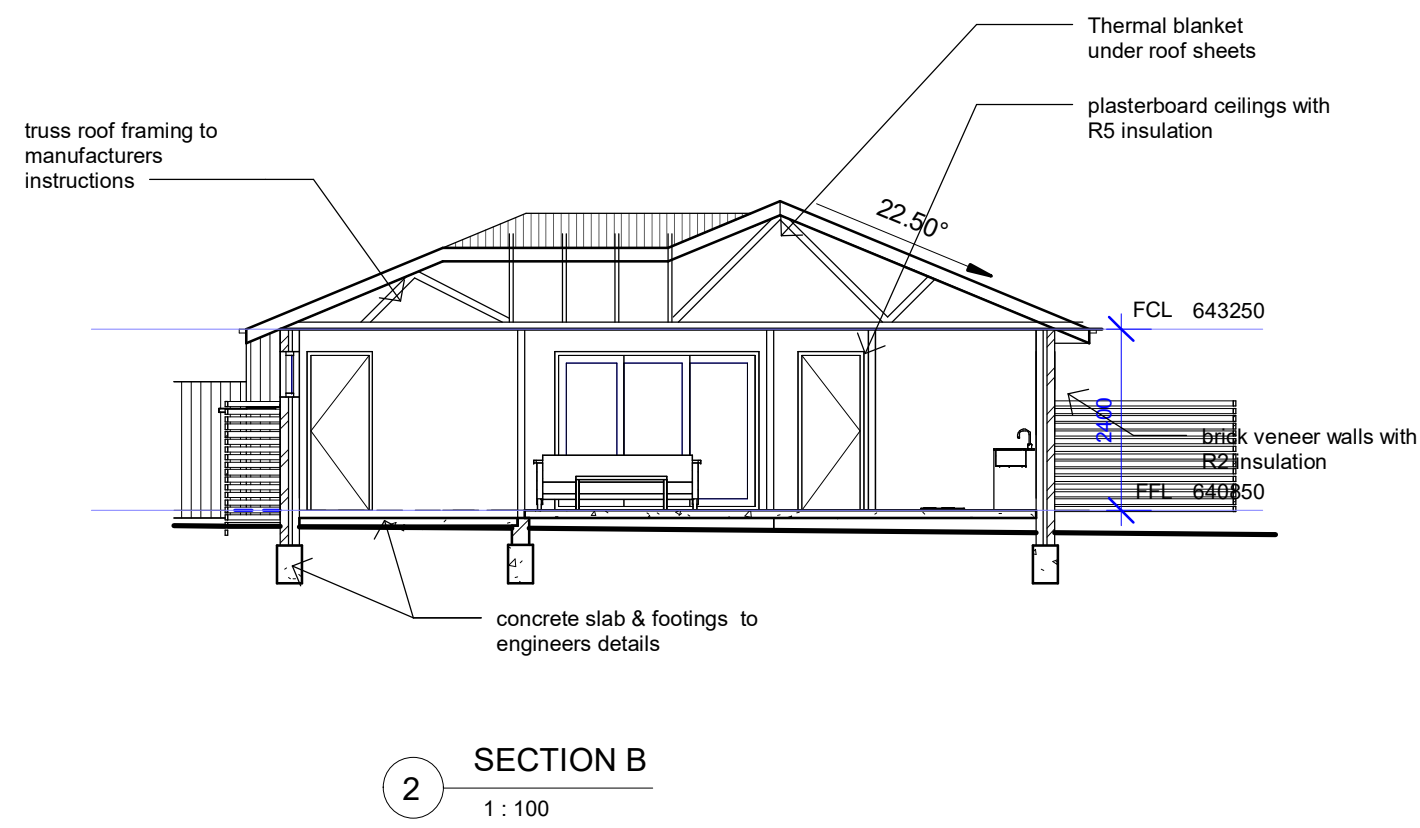
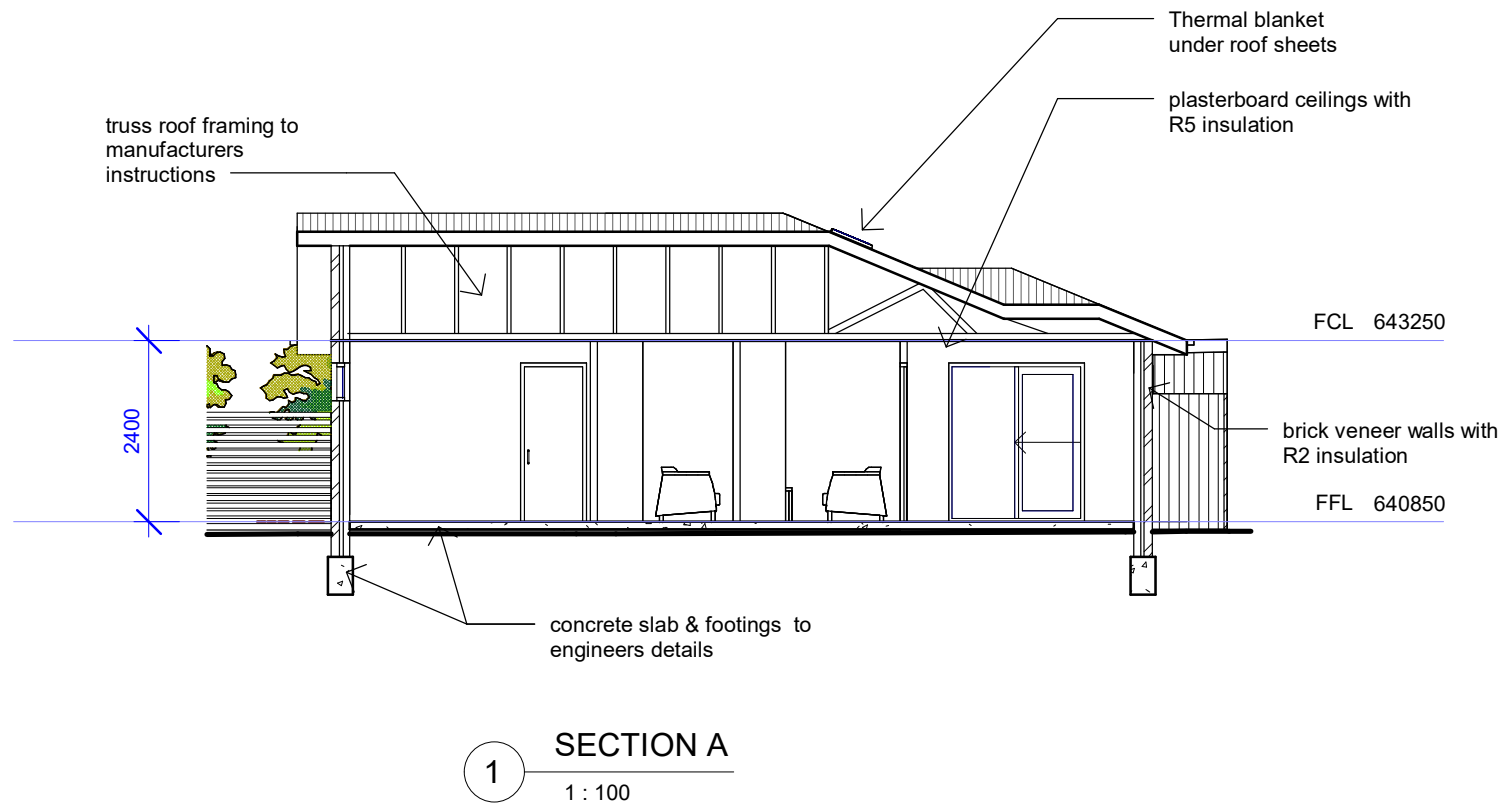
CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

Issue date amendment

DATE: JUNE '24
DRAWN: HG
SCALE: As indicated
PR. NO: LITHGOW ST
DWG NO: DA07.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au



NOTES & GENERAL CONDITIONS

ALL CONSTRUCTION IN ACCORDANCE WITH BCA AND RELEVANT SAA CODES

COMPLETE THE WORKS WITHIN THE CONTRACT PERIOD IN ACCORDANCE WITH THE DRAWINGS.

COMPLY WITH REGULATIONS AND BY-LAWS OF AUTHORITIES WITH JURISDICTION OVER THE WORKS AND INCLUDING THOSE RELATING TO WATER SUPPLY, GAS, SEWERAGE, HEALTH AND ELECTRICITY. GIVE ALL NOTICES AND PAY ALL FEES REQUIRED BY THE AUTHORITIES.

WORK SHOWN OR DESCRIBED ON THE DRAWINGS OR IN THE SCHEDULE IS TO BE CARRIED OUT WHETHER DRAWN AND NOT SPECIFIED OR VICE VERSA. THE REQUIREMENTS OF REGULATIONS TAKE PRECEDENCE OVER THE DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS.

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS, PRODUCING SHOP DRAWINGS OR FABRICATING COMPONENTS. REPORT ANY DISCREPANCIES TO ARCHITECT FOR DECISION BEFORE PROCEEDING WITH WORK.

WRITTEN DIMENSIONS ARE IN MILLIMETERS AND TAKE PRECEDENCE OVER SCALED ONES

BUILDER TO CHECK WINDOW DIMENSIONS BEFORE ORDERING

GROUND LINES SHOWN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED ON SITE

LINTELS TO TRUSS MANUFACTURERS TABLES, NEW TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATION.

CONCRETE SLABS AND FOOTINGS TO AS. 2870-1998 ENGINEERING OPTION ADOPTED. ALL FOOTINGS TO BE TAKEN DOWN TO SOLID GROUND. TERMITE PROTECTION TO COMPLY WITH AS. 1694 'PHYSICAL BARRIERS' & AS. 3660 'APPENDIX D' AND TO ACT BUILDING CONTROL BUILDING NOTE NO.3, FRAMING TO AS. 1684-1992 'NATIONAL TIMBER FRAMING CODE' AND SUPPLEMENTS. HARDWOOD TO AS.3000, BRICKWORK TO AS.3700 'SAA MASONRY CODE' AND AS.1640 'SAA BRICKWORK CODE'. STRUCTURAL STEEL TO AS.1170 & AS.4100, SMOKE ALARMS TO AS.3786, WET SEAL TO AS.3740, PLUMBING TO AS3500.

STEEL FRAMED DOORS & WINDOWS TO AUSTRALIAN STANDARDS. USE STANDARD SIZED DOORS WHERE POSSIBLE

ENGINEERING DOCUMENTATION TAKES PRECEDENCE OVER ARCHITECTURAL STRUCTURAL SIZINGS.

GRADE SITES TO ALLOW FOR SURFACE DRAINAGE

SMOKE ALARMS CONNECTED TO MAINS POWER SUPPLY, WITH BATTERY BACKUP, ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3786-1993

PROJECT: MULTI UNIT DEVELOPMENT

ISSUE: DEVELOPMENT APPLICATION

DRAWING TITLE: SECTIONS

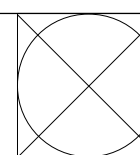
COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L

DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS (DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: GOULBURN PROJECTS

PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

issue date amendment



DATE: JUNE '24

DRAWN: Author

SCALE: 1 : 100

PR. NO: LITHGOW ST

DWG NO: DA11.1



HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY SOUTH COAST

P (02) 62626433
M 0410 625 701

E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:05:16 PM



PROJECT: **MULTI UNIT DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

CLIENT: **GOULBURN PROJECTS**
PROJECT ADDRESS: **26 LITHGOW STREET, GOULBURN, NSW**

issue	date	amendment

DATE:	JUNE '24
DRAWN:	Author
SCALE:	
PR. NO:	LITHGOW ST
DWG NO:	DA12.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:05:20 PM

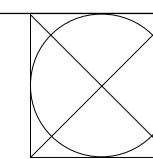


PROJECT: **MULTI UNIT DEVELOPMENT**
ISSUE: **DEVELOPMENT APPLICATION**
DRAWING TITLE: **ISO VIEWS**

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED
DIMENSIONS. DIMENSIONS ON
NOT TO BE USED OR COPIED WITHOUT WRITTEN
PERMISSION.

CLIENT: **GOULBURN PROJECTS**
PROJECT ADDRESS: **26 LITHGOW STREET, GOULBURN, NSW**

Issue date amendment

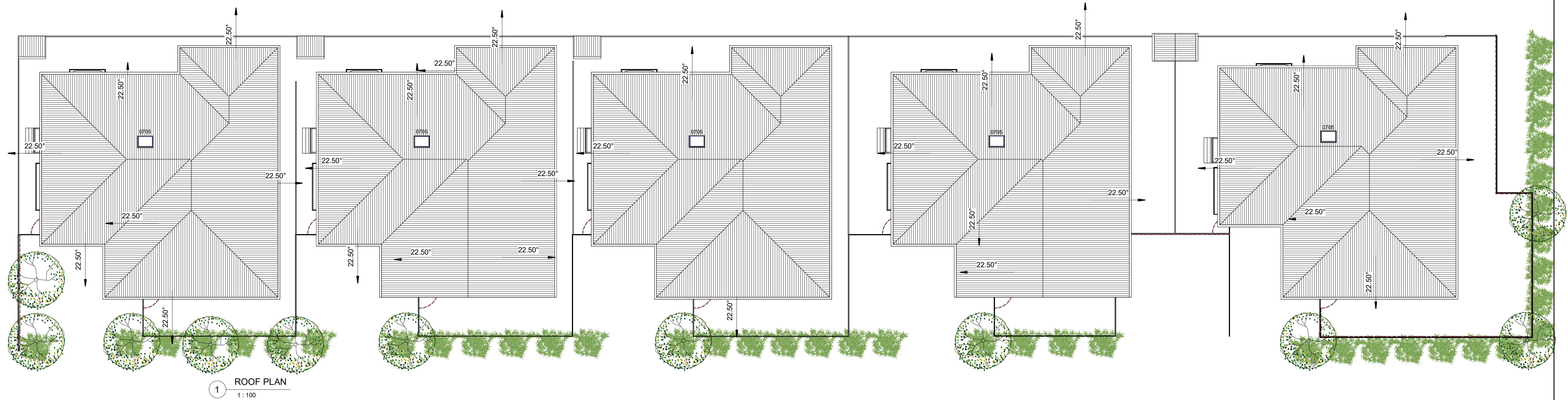


DATE: **JUNE '24**
DRAWN: **Author**
SCALE:
PR. NO: **LITHGOW ST**
DWG NO: **DA13.1**

HGA
HUGH GORDON ARCHITECTS

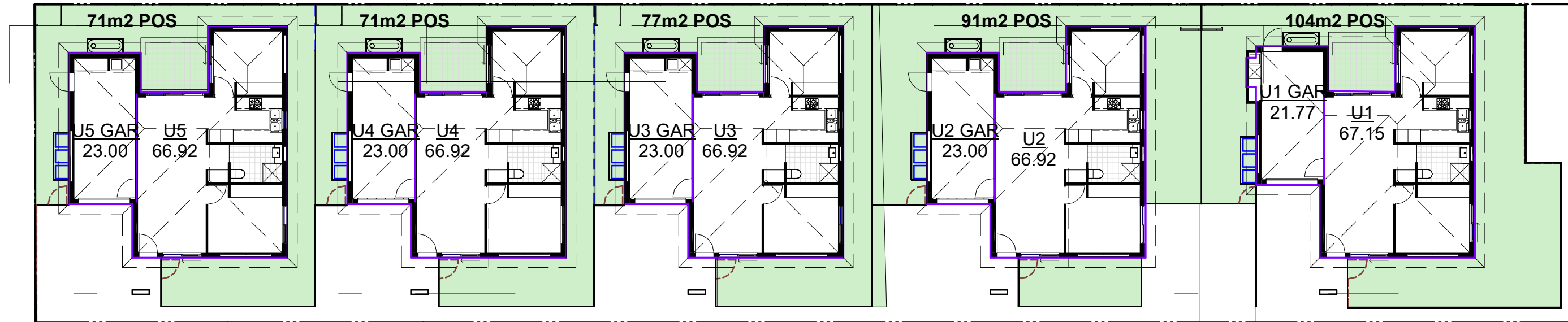
CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:05:24 PM



SITE AREA = 1070m2

Area Schedule (Gross Building)	
Name	Area
U1	67.15
U1 GAR	21.77
U2	66.92
U2 GAR	23.00
U3	66.92
U3 GAR	23.00
U4	66.92
U4 GAR	23.00
U5	66.92
U5 GAR	23.00
Grand total: 10	448.61



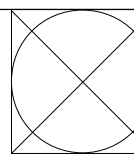
1 FFL
1: 200

PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: AREA PLANS

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.

Issue date amendment

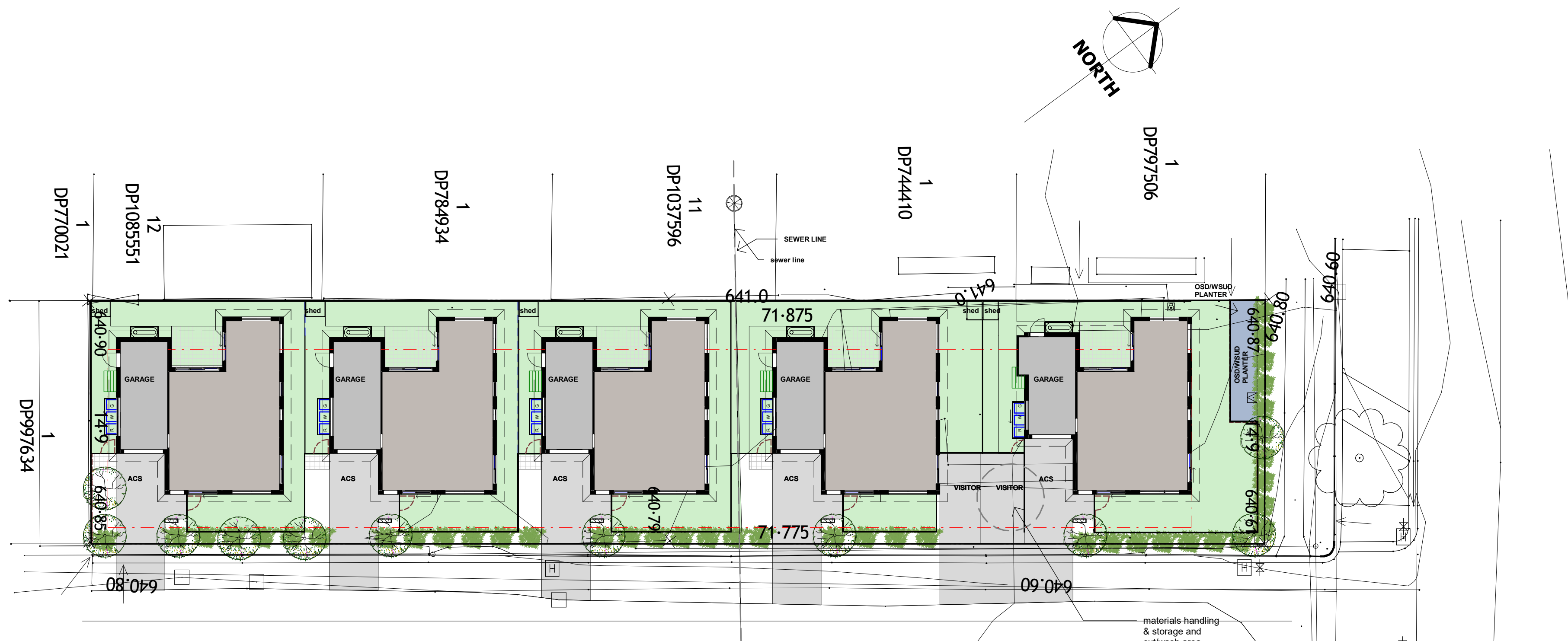


DATE: JUNE '24
DRAWN: HG
SCALE: 1 : 200
PR. NO: LITHGOW ST
DWG NO: DA17.1

HGA
HUGH GORDON ARCHITECTS

CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au

19/06/2024 3:05:30 PM



SEDIMENT CONTROL NOTES

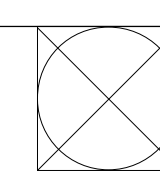
1. Provide Sediment and erosion control barriers as shown.
2. Stock pile/s to be located away from drainage lines and surface flow paths, contoured striations or furrows to be provided to stock piles to minimize erosion.
3. Stabilised construction entrance to be constructed prior to access to site by construction vehicles. Aggregate to be turned when sediment builds up.
4. Where storm water drainage is installed to internal roadwork's, provide grated sump filter in accordance with given detail.
5. Average existing site slope is : Less than 5% - sediment control barrier not required
6. Total site area is : 1070 m²
7. Builder is to establish a maintenance program for sediment & Erosion control devices to ensure inspection after significant rainfall and that any repairs necessary are quickly attended to.
8. Environment protection agreement to be taken out by building contractor with Environment Protection Authority. .
9. All new construction work must be contained within the site except for approved service connections and roadwork's or noted explicitly on documentation.
10. Limit access to site during and immediately after wet weather.
11. Regularly remove any soil from roads adjacent to the site.
12. No storage or construction materials, parking of vehicles nor equipment permitted outside of blocks without Authority approval.
13. No site sheds, storage sheds, site amenities to be erected outside of blocks without Authority approval.
14. Provide kerbside filter roll to existing sumps.
15. Kerbside filter rolls to be removed, cleaned and reinstated on a weekly basis at a minimum. Trapped sediment about sumps also to be removed, cleaning is also to take place immediately after periods of rainfall during construction.
16. All service trenches to be back filled within 24 hours of inspection.
17. Excess soil is to be disposed at an approved location.

1 SEDIMENT & EROSION CONTROL PLAN
1 : 200

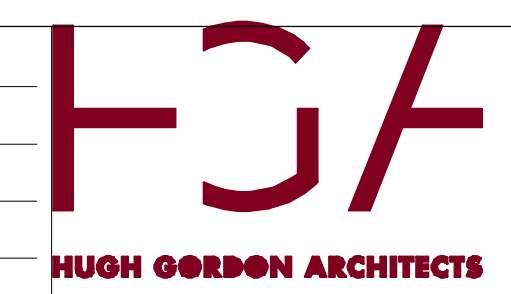
PROJECT: MULTI UNIT DEVELOPMENT
ISSUE: DEVELOPMENT APPLICATION
DRAWING TITLE: SEDIMENT & EROSION CONTROL PLAN
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS. DIMENSIONS ON NOT TO BE USED OR COPIED WITHOUT WRITTEN PERMISSION.
COPYRIGHT © 2016 HUGH GORDON ARCHITECT P/L

CLIENT: GOULBURN PROJECTS
PROJECT ADDRESS: 26 LITHGOW STREET, GOULBURN, NSW

issue	date	amendment



DATE: JUNE '24
DRAWN: Author
SCALE: 1 : 200
PR. NO: LITHGOW ST
DWG NO: DA19.1



CANBERRA | SYDNEY
SOUTH COAST
P (02) 62626433
M 0410 625 701
E design@hughgordon.com.au
W www.hughgordon.com.au